



YOUR INSPECTION REPORT

The Most Informative Home Inspection Experience.

PREPARED BY:

Jason Chow



FOR THE PROPERTY AT:

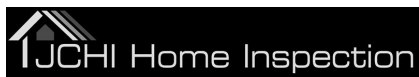
1234 Calgary Home
Calgary, AB

PREPARED FOR:

VIP HOMEBUYER

INSPECTION DATE:

Wednesday, January 11, 2023



JCHI Home Inspection
177 Cramond Close SE
Calgary, AB T3M1C2

403-606-4546

www.jchi.ca

jchihome@gmail.com

SUMMARY

1234 Calgary Home, Calgary, AB January 11, 2023

Report No. 4370

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Exterior

ROOF DRAINAGE \ Downspouts

Condition: • [Discharge too close to building](#)

Horizontal downspout extensions are disconnected. They should be re-connected to discharge water at least 4 to 10 feet away from home.

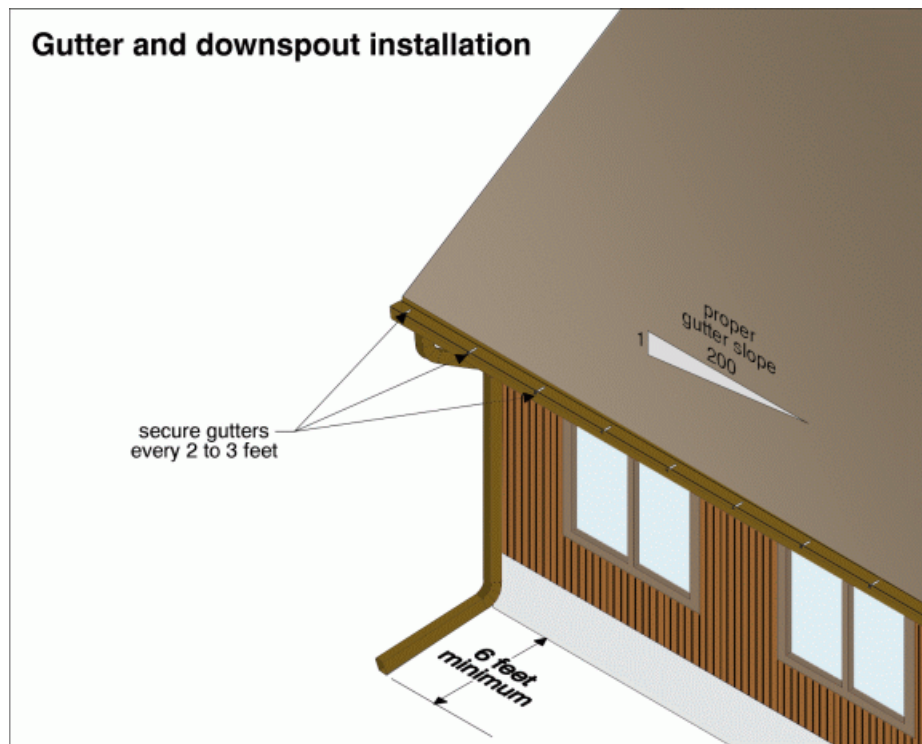
- Settled or eroded grading should be repaired to ensure that water is directed away from the home.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Front Exterior Garage

Task: Correct

Time: Regular maintenance



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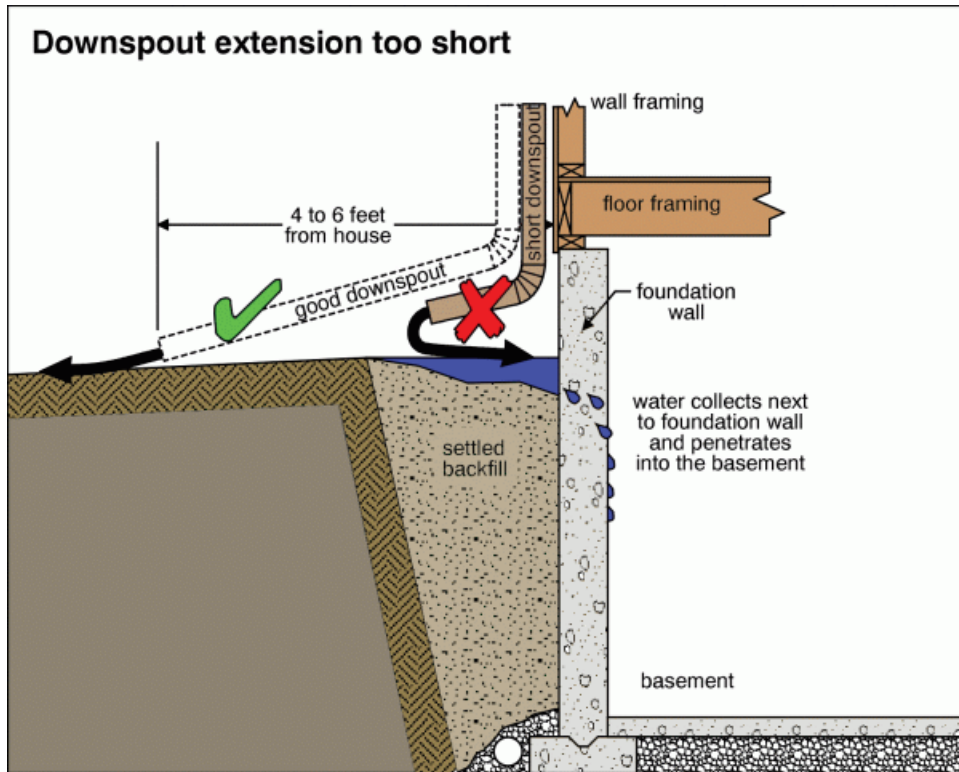
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1. Discharge too close to building

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Columns / Posts

Condition: • Lower deck beam sits on sidewalk blocks at grade. This can cause the deck to heave / settle as the ground can settle or frost heave. Monitor and repair as needed. Ideally, posts or piles should be installed past the frost line (lower than 4') to prevent heaving or settling.

Location: Back Exterior

Task: Monitor, improve as required

Time: If necessary

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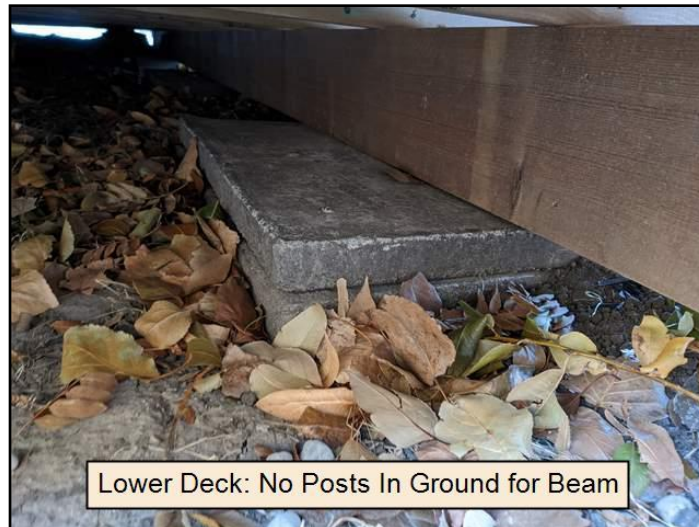
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2.

LANDSCAPING \ Walkway

Condition: • [Improper slope or drainage](#)

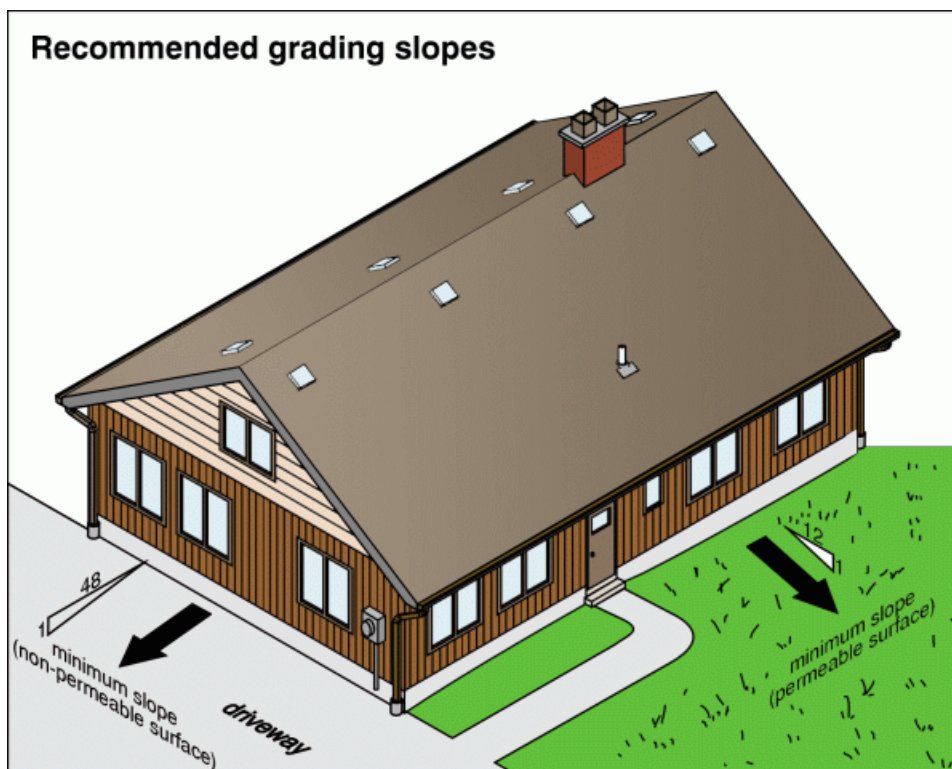
Walkway has settled towards the home, ideally it should be sloped away from the home to ensure precipitation / water flows away from the home.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Front Exterior

Task: Correct

Time: Regular maintenance



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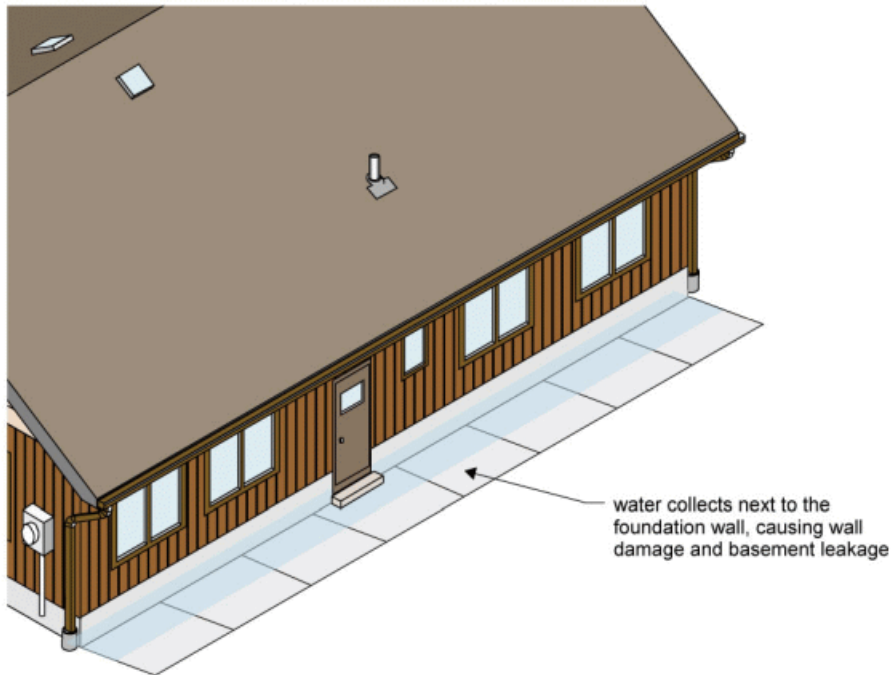
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Walk/patio sloping towards house



3. Improper slope or drainage

Electrical

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • [Double taps](#)

Double Taps at electric panel. Each breaker should only have 1 wire secured to the lug, as multiple wires (double taps) can cause the connection to overheat and possibly cause a fire/electric shock if the connection becomes loose. It appears to have been installed this way for many years, and there were no signs of overheating or melted insulation.

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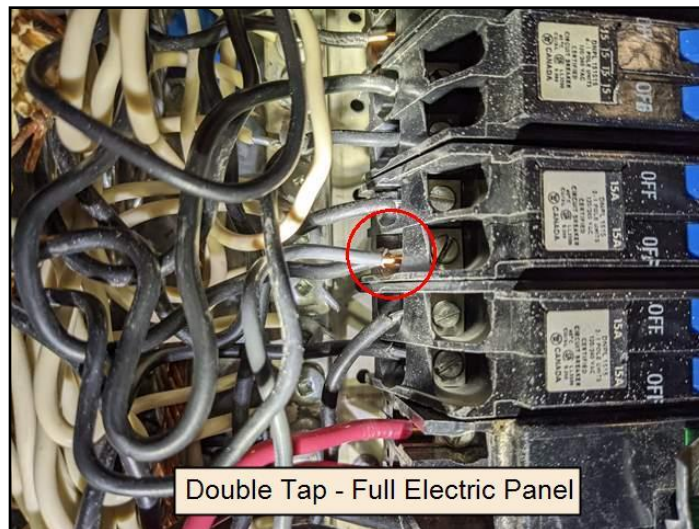
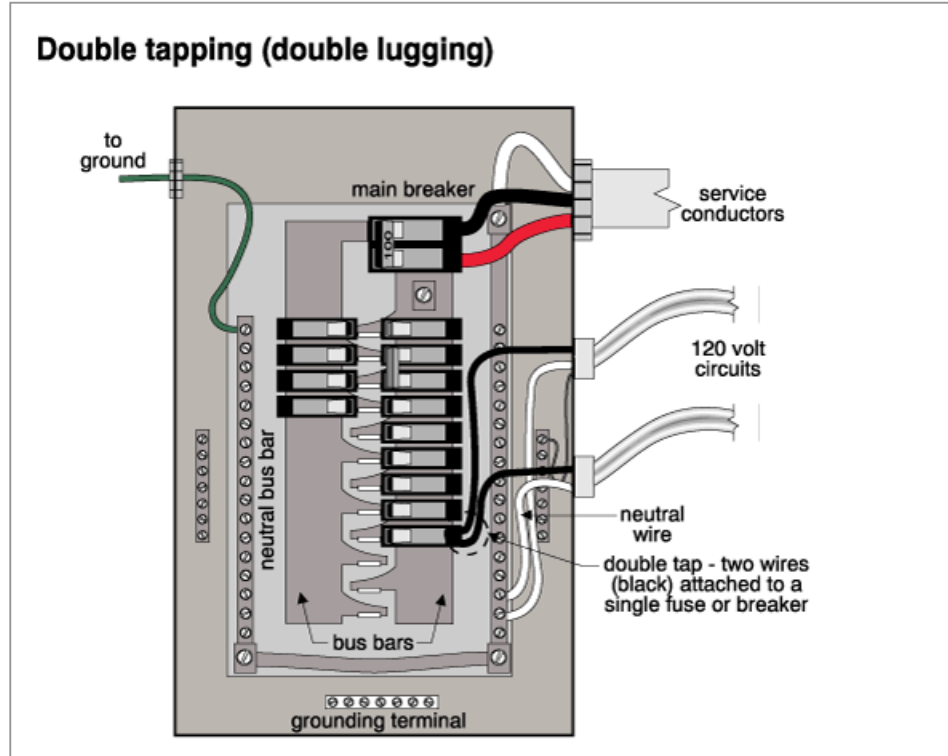
REFERENCE

Implication(s): Fire hazard

Location: Basement Main Panel

Task: Correct

Time: Regular maintenance



4. Double taps

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Heating

GAS FURNACE \ Mid- and high-efficiency gas furnace

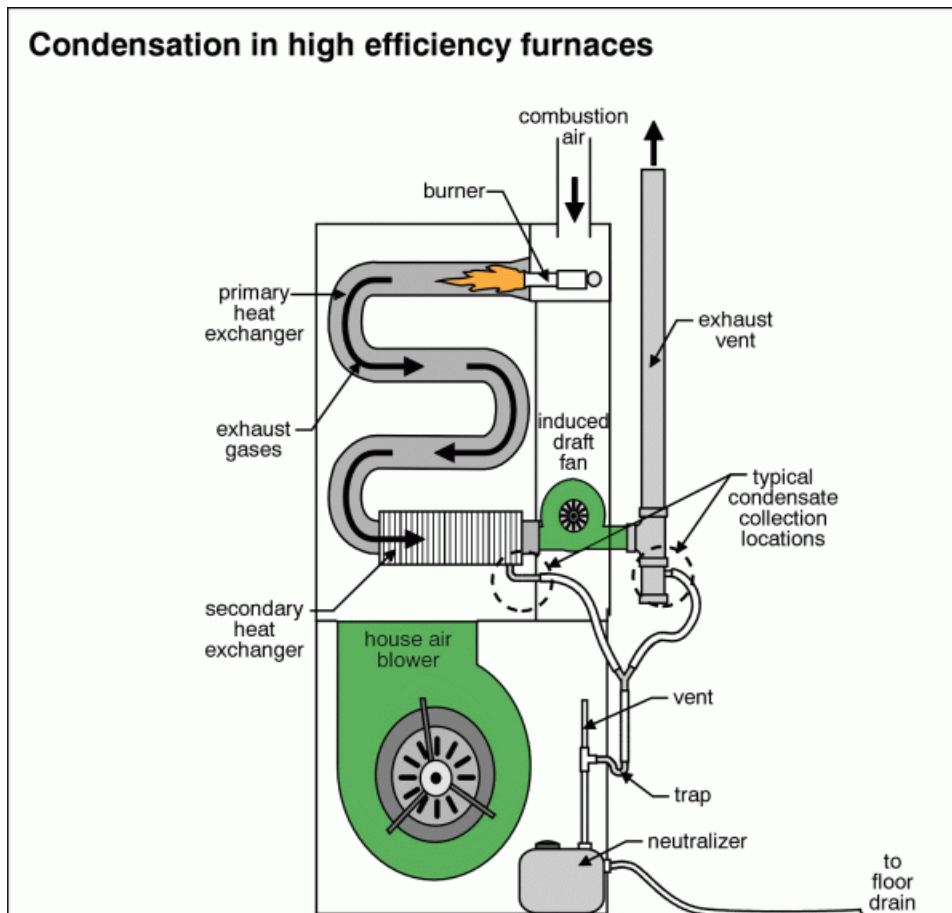
Condition: • [Condensate leak](#)

Furnace needs to be serviced, it is leaking condensation inside the furnace cabinet. This can cause more issues if not addressed promptly, as the leaked condensation can rust through the cabinet and damage the electronics below.

Location: Basement - Main Furnace

Task: Repair

Time: Immediate



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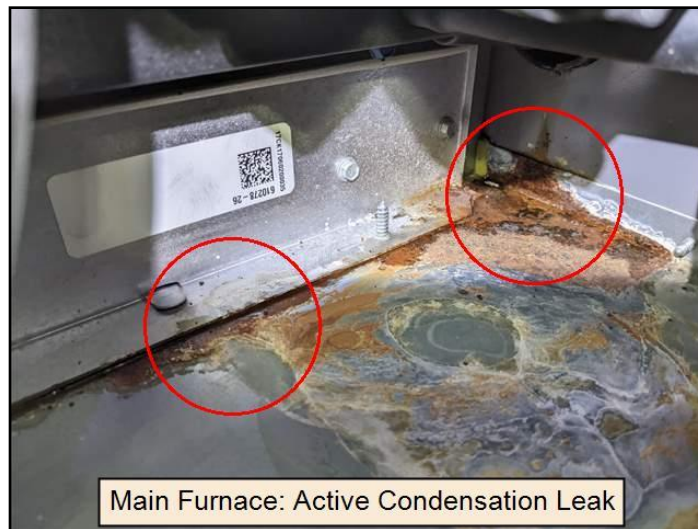
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5. Condensate leak

Condition: • [Condensate leak](#)

Furnace is leaking (slowly) condensation at the exterior and is dripping on the floor. This should be repaired, no damage has yet been caused.

Location: Basement - Top Floor Furnace

Task: Repair

Time: Regular maintenance



6. Condensate leak

FIREPLACE \ General notes

Condition: • Spark Arrester Caps are recommend for the fireplace flues. This can prevent precipitation from directly falling down into the chimney, and also to prevent rodents such as birds and squirrels from entering.

Location: Fireplace Chimney Flue

Task: Improve

Time: Regular Maintenance

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8.

7.

Interior

RECOMMENDATIONS \ Overview

Condition: • ** Multiple deficiencies are all grouped in this section for your convenience, each image is sub titled.

Location: Various Areas



9.



10.

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Front Hose Shut-Off Valve Not Visible

11.



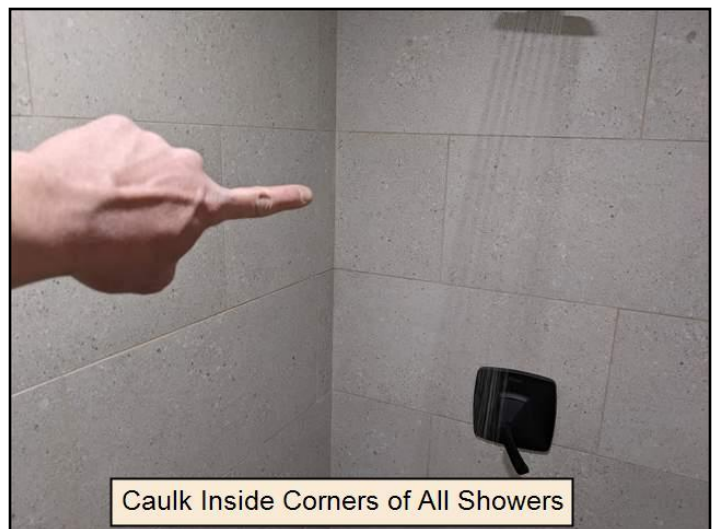
Rear Door: Trim Missing Under Sill

12.



Front Hose Bib, No Access to Shut-Off Valve

13.



Caulk Inside Corners of All Showers

14.



Caulk Inside Corners of All Showers

15.



Missing Shut-Off Valve to HWT's

16.

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Missing Shut-Off Valve to HWT's



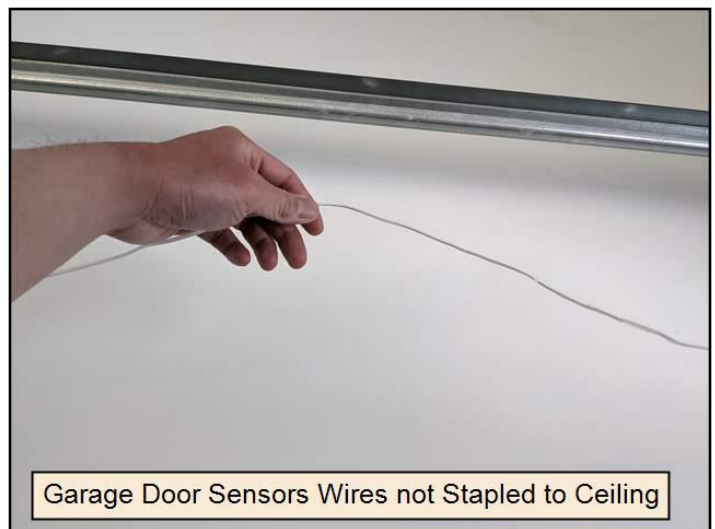
Range Hood Not Vented to Exterior (Gas Range)

17.

18.



Garage Door Sensors Wires not Stapled to Ceiling



Garage Door Sensors Wires not Stapled to Ceiling

19.

20.



Caulk Inside Corners of All Showers



Caulk Inside Corners of All Showers

21.

22.

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Main Bath: Adjust Cartridge. Only Warm Water



Clean HVAC Ducts

23.

24.



Clean HVAC Ducts



Clean HVAC Ducts

25.

26.



Ensuite (Beside Shower), No Cold Water Flow



Ensuite (Beside Shower), No Cold Water Flow

27.

28.

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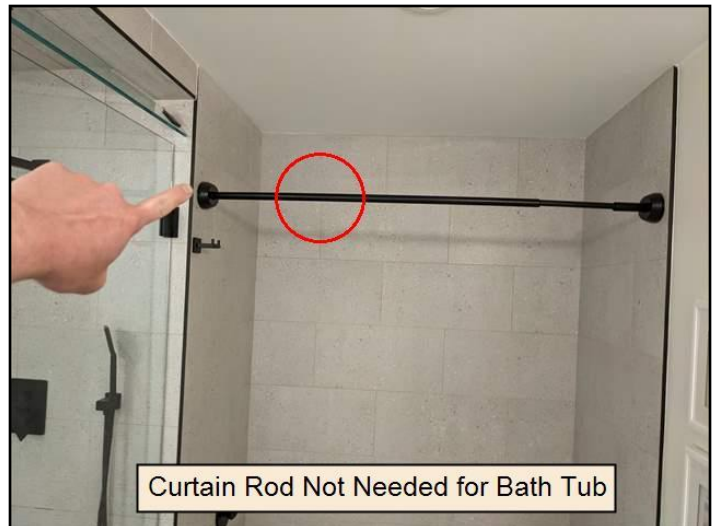
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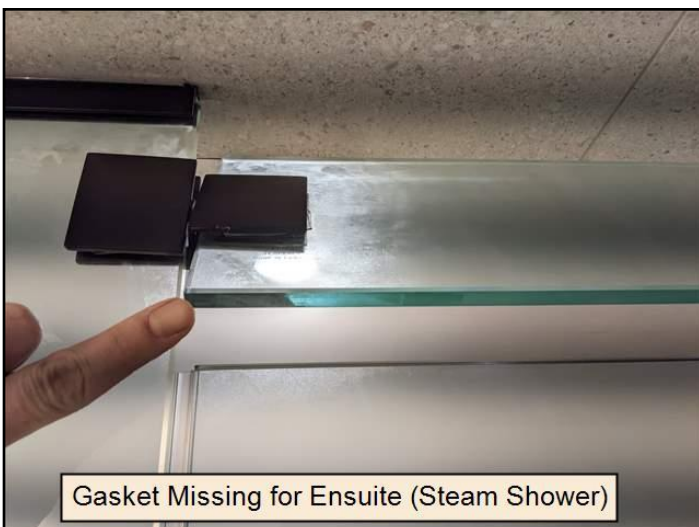
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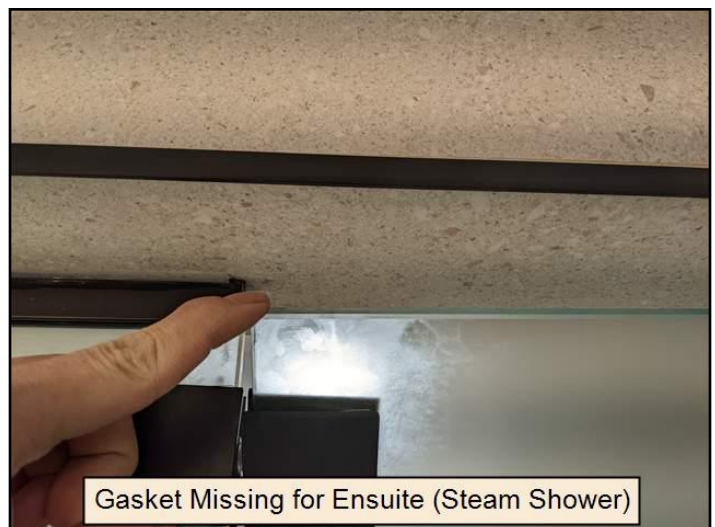
31.



32.



33.



34.

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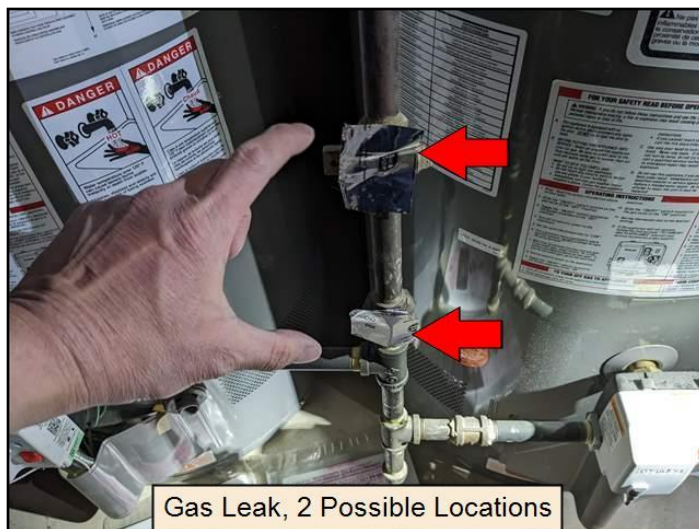
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35.



36.



37.

STAIRS \ Handrails and guards

Condition: • [Missing](#)

Missing handrails should be installed, as this can prevent an accidental fall.

Implication(s): Fall hazard

Location: Basement

Task: Correct

Time: Regular maintenance

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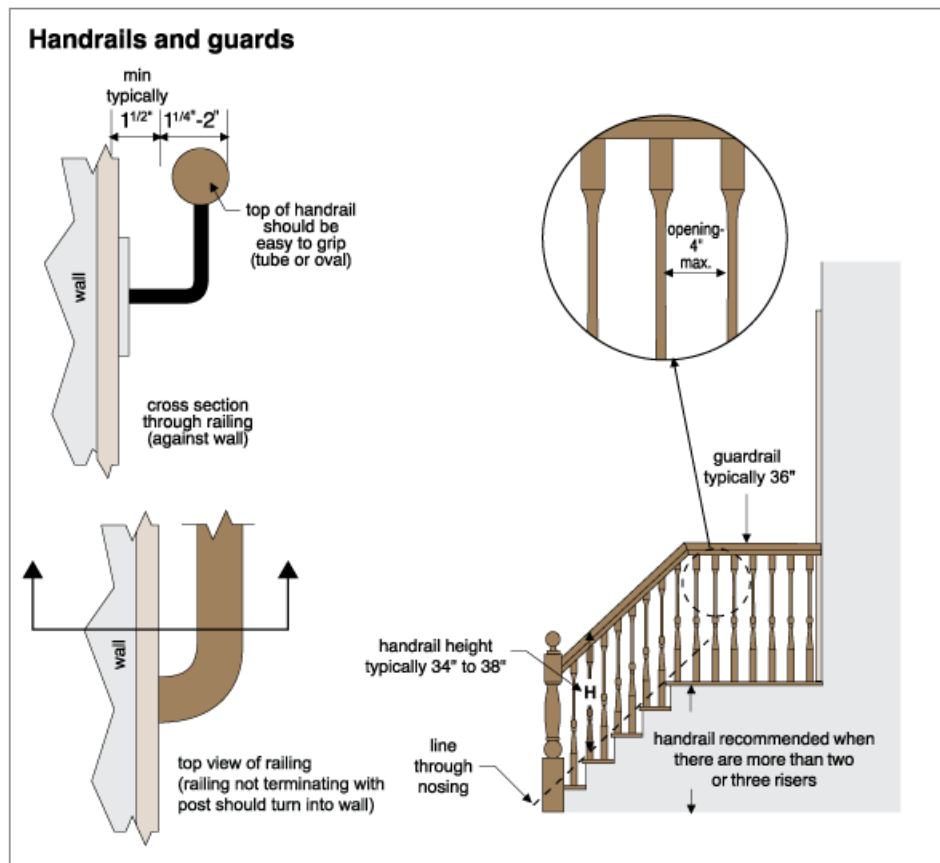
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38. Missing

STAIRS \ Spindles or balusters

Condition: • [Easy to climb](#)

Guardrails are climbable. Vertical spindles can be installed to correct this and to prevent small children from falling through.

Implication(s): Fall hazard

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Location: Various Areas

Task: Improve

Time: If necessary



39. *Easy to climb*

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements or general maintenance items. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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Description

Sloped roofing material:

- [Asphalt shingles](#)



40. Asphalt shingles



41. Asphalt shingles



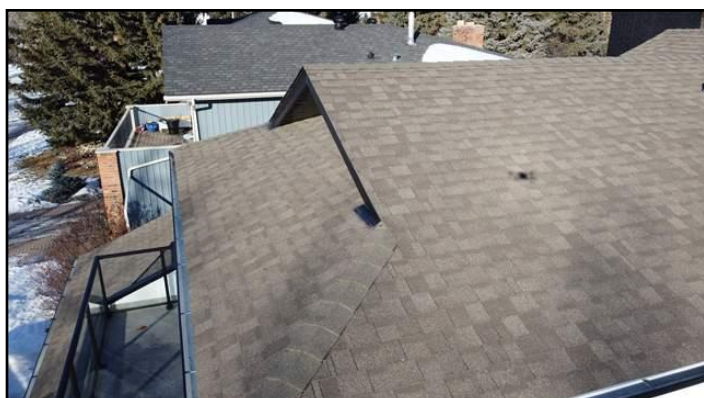
42. Asphalt shingles



43. Asphalt shingles



44. Asphalt shingles



45. Asphalt shingles

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46. Asphalt shingles



47. Asphalt shingles



48. Asphalt shingles



49. Asphalt shingles



50. Asphalt shingles



51. Asphalt shingles

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52. Asphalt shingles



53. Asphalt shingles



54. Asphalt shingles



55. Asphalt shingles



56. Asphalt shingles



57. Asphalt shingles

Sloped roof flashing material: • Metal

Probability of leakage: • Low

Approximate age: • New

Typical life expectancy: • 25-30 years

Limitations

Inspection limited/prevented by:

- Snow

Snow limited full visibility of the entire roof surface.



58. Snow

Inspection performed: • With a drone

Age determined by: • Visual inspection from roof surface • Reported by seller • Real estate listing

Description

Gutter & downspout material:

- [Aluminum](#)



59. Aluminum

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge:

- [Above grade](#)

Recommend keeping horizontal downspout extensions extended out to ensure water is directed away from the home, even when there is no rain or snow forecasted.

- Downspout extensions should be at least 4-10 feet long or longer to ensure water is directed far away from home.
- Settled or eroded grading should be repaired to ensure that there is a positive slope away from the home.



60. Above grade



61. Above grade

Lot slope: • [Away from building](#)

Wall surfaces and trim: • [Fiber cement](#)

Driveway:

- Concrete

Avoid ice melting salt on the walkways, steps or driveway to melt ice. If needed, use sand or allow to naturally melt. Salt can cause the surface of the concrete to spall and become crumbly over time.



62. Concrete

Walkway:

- Pavers

Avoid using ice melting salts on walkway, as it can cause the concrete to spall and deteriorate due to freeze / thaw action.

- Adjustment or re-leveling of the individual paver blocks may be needed over time, and is part of normal maintenance.



63. Pavers

Deck:

- Raised

- Pressure-treated wood



64. *Pressure-treated wood*



65. *Pressure-treated wood*



66. *Pressure-treated wood*

- Waterproofing membrane

Avoid dragging objects across the deck surface, as it can scratch and eventually tear the deck covering. If tears or openings occur, arrange to have it repaired or patched, as it can trap moisture and rot the deck structure.

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67. Waterproofing membrane



68. Waterproofing membrane

Exterior steps:

- Concrete



69. Concrete

Garage:

- Attached

Ensure all door opener remote controls are provided.

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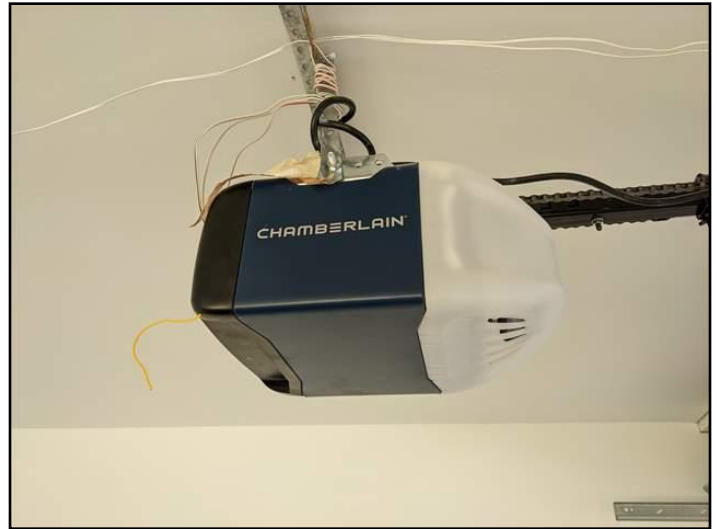
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70. Attached



71. Attached



72. Attached



73. Attached

Limitations

Inspection limited/prevented by: • Poor access under steps, deck, porch

Upper floors inspected from: • Ground level

Exterior inspected from: • Ground level

Recommendations

ROOF DRAINAGE \ Downspouts

1. Condition: • [Discharge too close to building](#)

Horizontal downspout extensions are disconnected. They should be re-connected to discharge water at least 4 to 10 feet away from home.

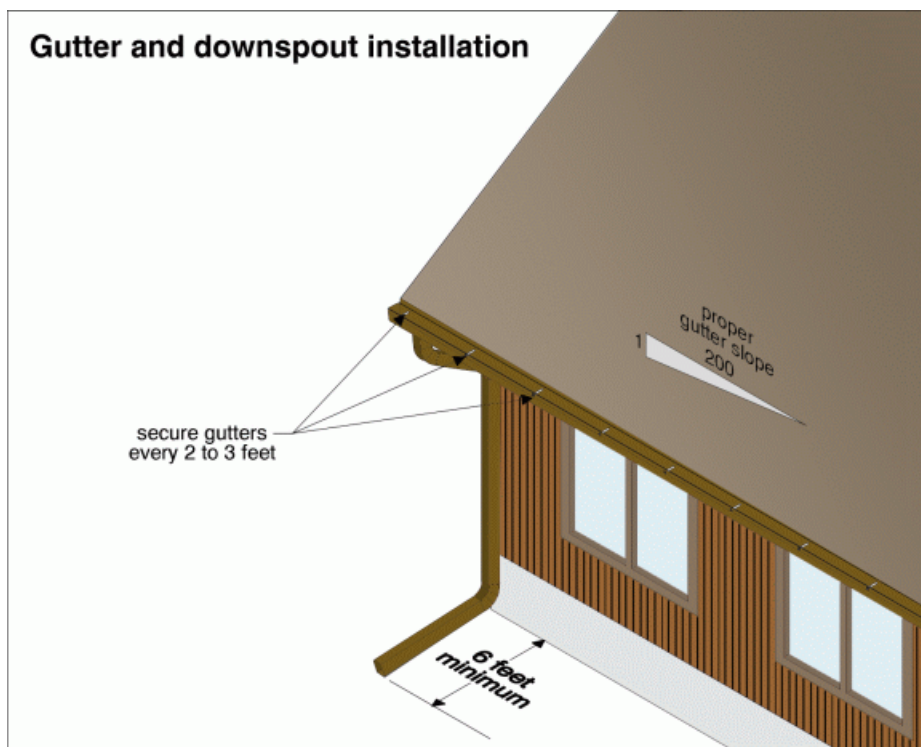
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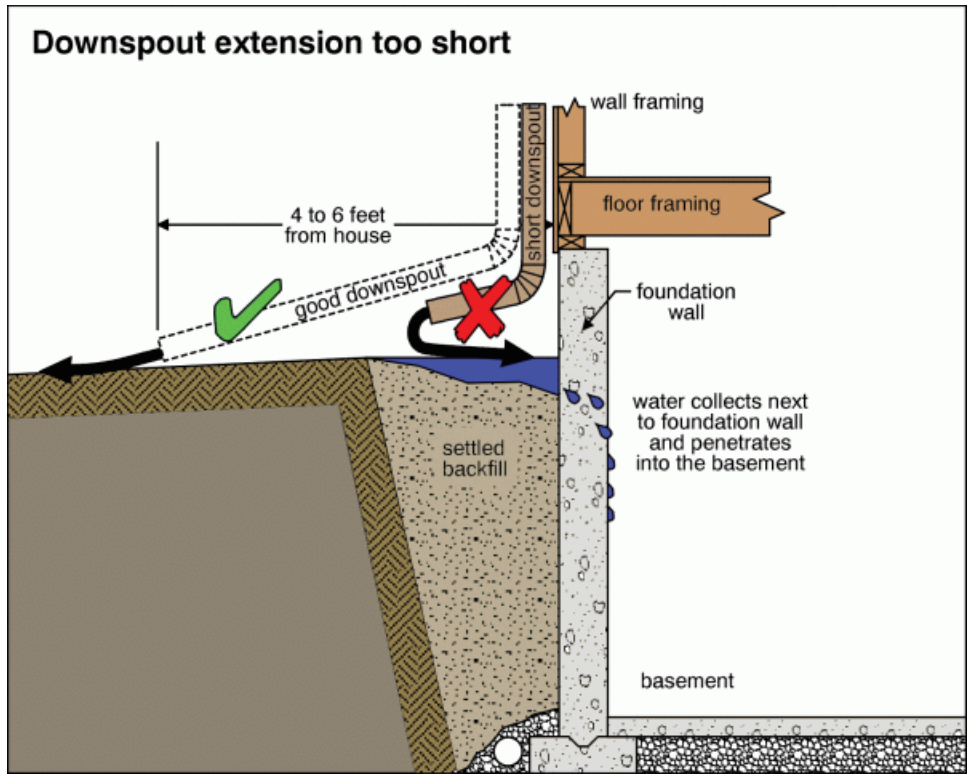
Implication(s): Chance of water damage to structure, finishes and contents

Location: Front Exterior Garage

Task: Correct

Time: Regular maintenance





74. Discharge too close to building

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Columns / Posts

2. **Condition:** • Lower deck beam sits on sidewalk blocks at grade. This can cause the deck to heave / settle as the ground can settle or frost heave. Monitor and repair as needed. Ideally, posts or piles should be installed past the frost line (lower than 4') to prevent heaving or settling.

Location: Back Exterior

Task: Monitor, improve as required

Time: If necessary



75.

LANDSCAPING \ Walkway

3. Condition: • [Improper slope or drainage](#)

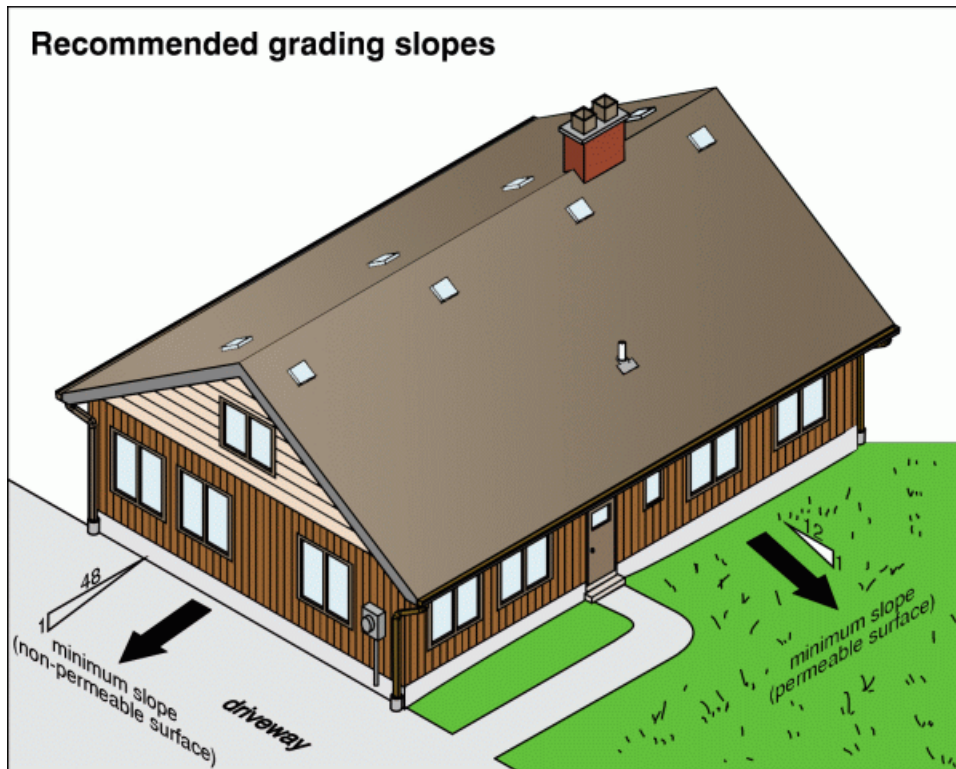
Walkway has settled towards the home, ideally it should be sloped away from the home to ensure precipitation / water flows away from the home.

Implication(s): Chance of water damage to structure, finishes and contents

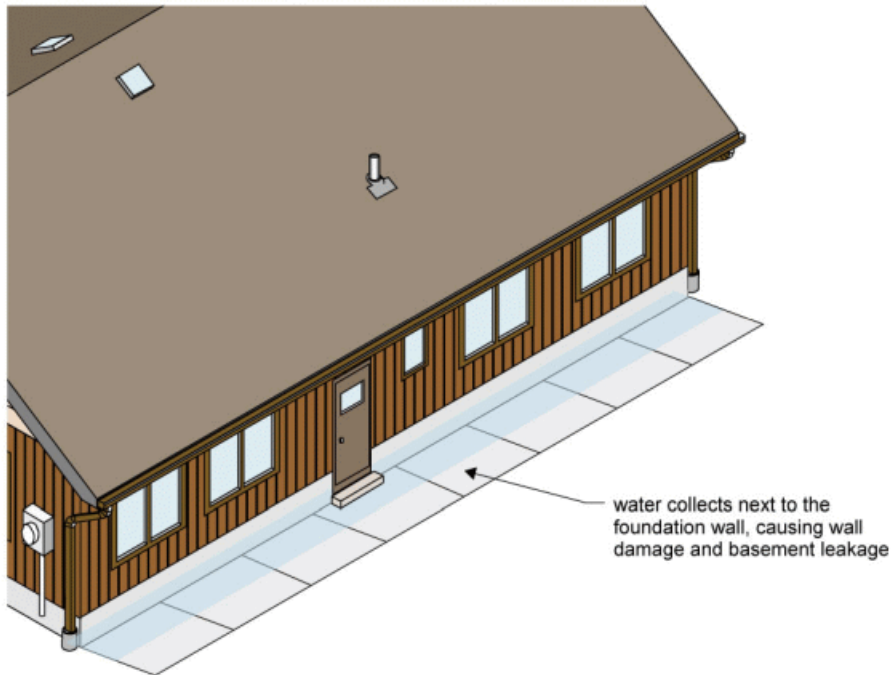
Location: Front Exterior

Task: Correct

Time: Regular maintenance



Walk/patio sloping towards house



76. *Improper slope or drainage*

Description

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

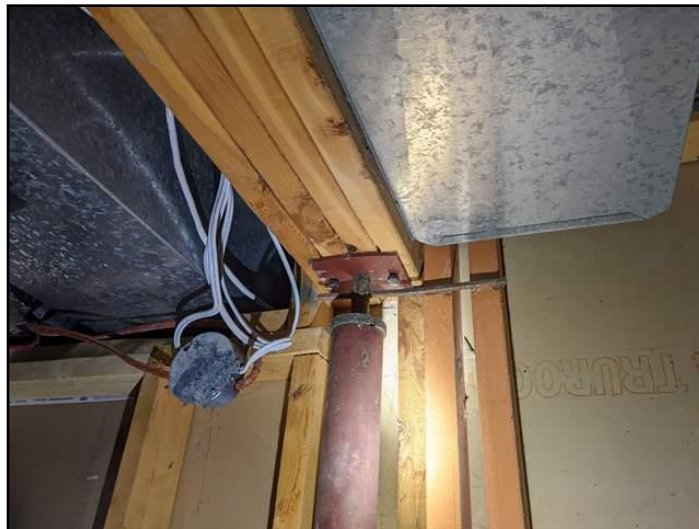
Floor construction:

- [Joists](#)



77. Joists

- Steel columns
- Built-up wood beams (girders)



78. Built-up wood beams (girders)

- Subfloor - plank

Exterior wall construction: • [Wood frame](#)

Roof and ceiling framing:

- [Trusses](#)



79. Trusses



80. Trusses



81. Trusses

- [Plywood sheathing](#)



82. Trusses



83. *Plywood sheathing*

Limitations

Inspection limited/prevented by: • Carpet/furnishings • New finishes/paint • Insulation

Attic/roof space: • Inspected from access hatch

Percent of foundation not visible: • 95 %

Description

Service entrance cable and location: • [Underground - cable material not visible](#)

Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box rating:

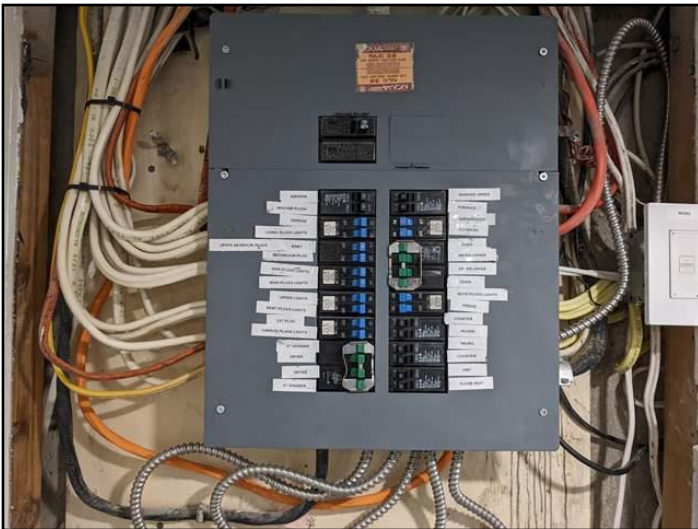
- [125 Amps](#)



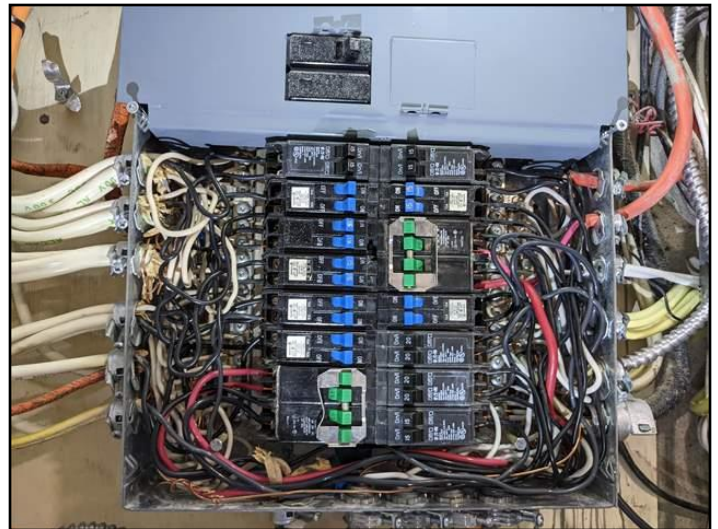
84. 125 Amps

Main disconnect/service box type and location:

- [Breakers - basement](#)



85. Breakers - basement



86. Breakers - basement

System grounding material and type: • [Copper - water pipe](#)

Distribution wire (conductor) material and type:

- [Copper - non-metallic sheathed](#)
- [Copper - metallic sheathed](#)

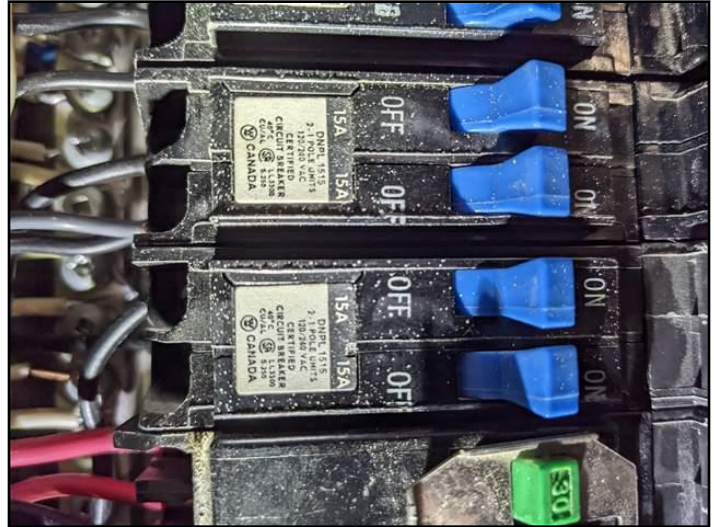
- [Aluminum - non-metallic sheathed](#)

Aluminum wiring is present at the electrical panel. Breakers are CU/AL Compatible. Receptacles and switches were not tested for compatibility. Aluminum wiring is considered a safe material, as long as AL compatible switches and receptacles are used. Otherwise, a copper pig-tail should be used at each receptacle/switch.

- There were no indications of overheating at the electric distribution panel.



87. Aluminum - non-metallic sheathed



88. Aluminum - non-metallic sheathed

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):

- [GFCI - bathroom and exterior](#)

Receptacles are GFCI Protected. If they trip, you need to simply push the "Reset" button for the receptacle to be powered again. They are installed for the exterior and interior near sinks / faucets.



89. GFCI - bathroom and exterior



90. GFCI - bathroom and exterior



91. GFCI - bathroom and exterior



92. GFCI - bathroom and exterior



93. GFCI - bathroom and exterior

Smoke alarms (detectors):

- [Present](#)

Wired Smoke Detectors present, 9 total.

- Recommend replacing old detectors with new Combination Smoke/CO Detectors upon expiration.
- Working Smoke Detectors (Combination Smoke/CO) are recommended for each floor of the home.



94. Present



95. Present



96. Present



97. Present



98. Present



99. Present



100. Present



101. Present



102. Present

Carbon monoxide (CO) alarms (detectors):

- Combination smoke/CO alarm(s) noted
Present for Each Floor



103. Combination smoke/CO alarm(s) noted



104. Combination smoke/CO alarm(s) noted



105. Combination smoke/CO alarm(s) noted



106. Combination smoke/CO alarm(s) noted

Limitations

- Inspection limited/prevented by:** • Insulation
- System ground:** • Continuity not verified • Quality of ground not determined
- Circuit labels:** • The accuracy of the circuit index (labels) was not verified.

Recommendations

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

4. Condition: • [Double taps](#)

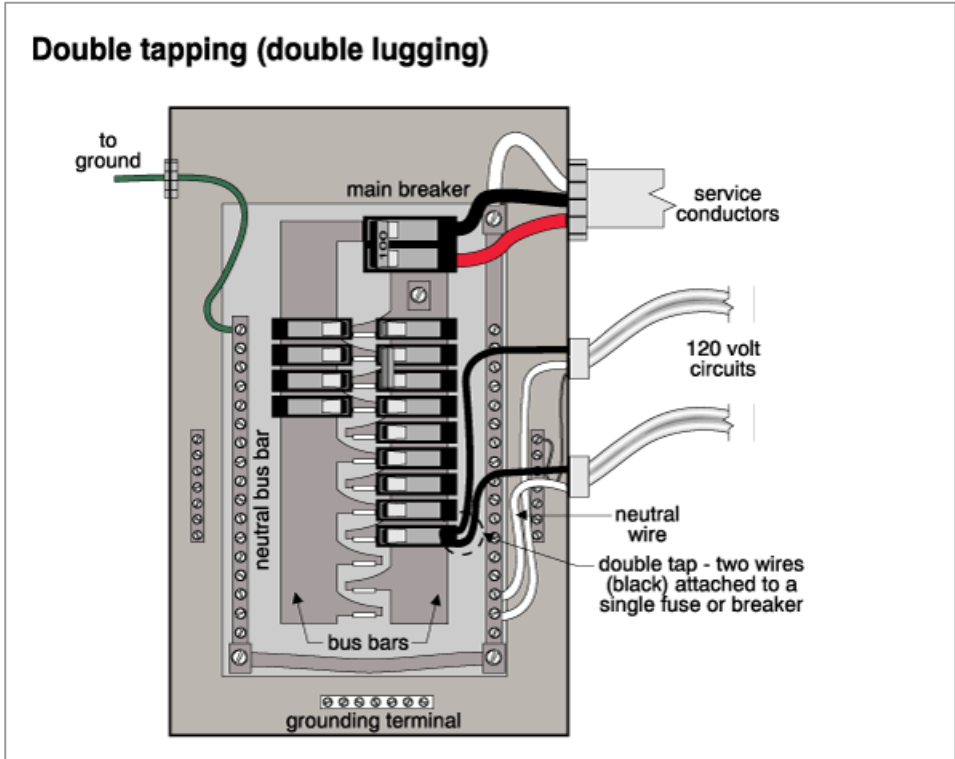
Double Taps at electric panel. Each breaker should only have 1 wire secured to the lug, as multiple wires (double taps) can cause the connection to overheat and possibly cause a fire/electric shock if the connection becomes loose. It appears to have been installed this way for many years, and there were no signs of overheating or melted insulation.

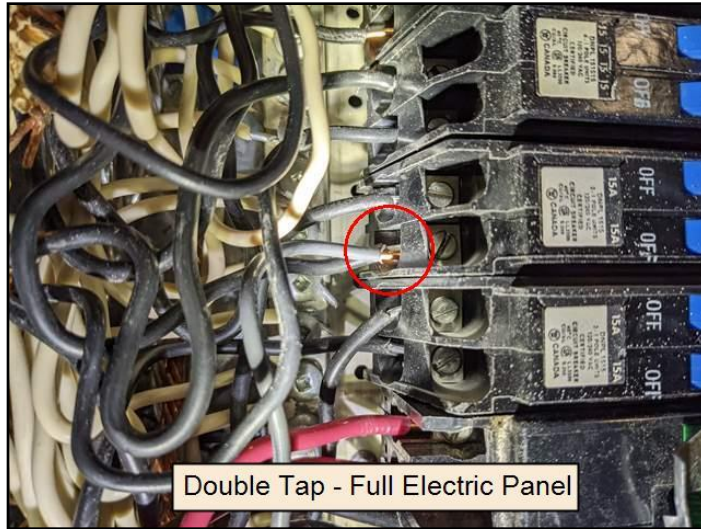
Implication(s): Fire hazard

Location: Basement Main Panel

Task: Correct

Time: Regular maintenance





107. Double taps

Description

Heating system type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Furnace manufacturer:

• Lennox

Check and replace furnace filter every 3 months or as needed.

- Remove front cover of the furnace at least once or twice during the heating season to inspect for condensation leaks, and repair / service if needed.

Recommend using low-density filters to allow for greater air flow to furnace, and to also extend furnace component life such as the blower motor and heat exchanger. Filter Size: 16x25x1".

Model number: Top Floor Furnace



108. Lennox



109. Lennox



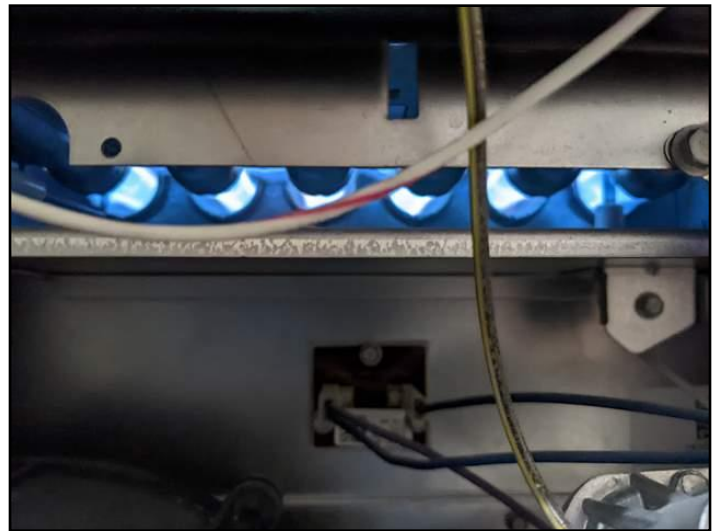
110. Lennox



111. Lennox



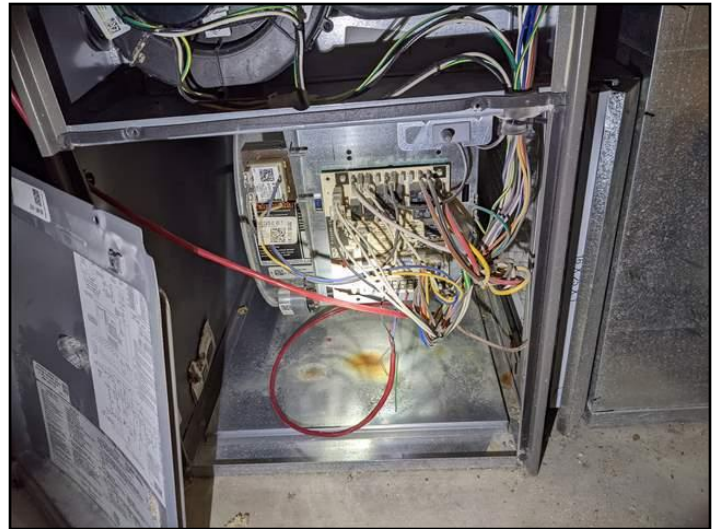
112. Lennox



113. Lennox



114. Lennox



115. Lennox

HEATING DATA		CHAUFFAGE		CLEARANCES /	
FOR USE WITH NATURAL GAS	EQUIPE POUR GAZ NATUREL	THIS FURNACE IS APPROVED FOR UPFLOW AND HORIZONTAL MIN. CLEARANCE TO COMBUSTIBLE CONSTRUCTION (IN.)			
(BTUH)	POISSANCE NOMINALE (BTUH)	66,000		CLEARANCE ABOVE DO NOT CHANGE WITH FURNACE ORIFICE	
LD PRESSURE (IN. W.C.)	RENSEMENT NOMINALE (BTUH)	62,000		VENT CLEARANCE TO COMBUSTIBLE CONSTRUCTION (IN.)	
PLY LINE PRESS (MAX/MIN IN. W.C.)	PRESSION DU COLLECTEUR (PO. D'EAU)	3.5		* MIN. FRONT SERVICE CLEARANCE FOR ALLOWED, CLOSED, &	
POSE OF INPUT ADJUSTMENT	PRESSION DANS LA CANNULATION DE GAZ (MAX/MIN PO. D'EAU)			CETTE FOURNAISE EST APPROUVEE POUR L'INSTALLATION NON	
OUTLET AIR TEMPERATURE (°F)	TEMP. MAXIMALE D'AIR DE SORTIE (°F)	13 / 4.5		ACCIDENTS, DEGAGEMENTS MINIMUM ENTRE L'APPAREIL	
TURE RISE (°F)	L'ELEVATION DE TEMPERATURE (°F)	180°		LES FLECHES DE DEGAGEMENT EN CHARGE POUR ASSURER UN	
COMMENDED ORIFICE SIZE (IN.)	TAILLE D'ORIFICE RECOMMANDEE PAR FABRICANT (PO.)	0.063		DEGAGEMENT DE VENT CONSTRUCTIONS COMBUSTIBLES (PO.)	
IC PRESSURE (IN. W.C.)	PRESSION STATIQUE MAX. (PO. D'EAU)	0.5		* DEGAGEMENT MIN. DEVANT POUR FINS D'ENTRETIEN POUR	
VIDES TO (FEET)	POUR L'ALTITUDE JUSQU'A (PIEDS)	0 - 4500		GRENIER.	
ELATION INSTRUCTIONS FOR	VOIR LE MANUEL D'INSTALLATION POUR DES INSTALLATIONS A DES			COMBUSTIBLES FUMES	
IONS ABOVE (FEET)	ALTITUDES EXCEDANT (PIEDS)	4500		INC. NON-COMBUSTIBLE FUMES	
NON KIT, AS SUPPLIED BY THE	UNE TROUSSE DE CONVERSION, FOURNIE PAR LE				
USER, MUST BE USED TO CONVERT THIS	FABRICANT, DOIT ETRE UTILISEE POUR PASSER D'UN	64488-12/11/49			
PROPANE.	COMBUSTIBLE A L'AUTRE.				
COMMENDED ORIFICE SIZE (IN.)	TAILLE D'ORIFICE RECOMMANDEE PAR FABRICANT (PO.)	0.034			
PRESSURE (IN. W.C.)	PRESSION DU COLLECTEUR (PO. D'EAU)	10.0			
INSTALLATION IN A BUILDING	POUR INSTALLATION DANS UN BATIMENT CONSTRUIT SUR LES				
ED ON SITE IN HEATED OR UNHEATED	LEUX POUR INSTALLATION A L'INTERIEUR DANS DES PIECES				
IF FURNACE MUST BE INSTALLED SO	CHAUFFEES OU NON, UTILISEE COMME AEROTHERME				
PROVIDING FOR VENTILATING AIR/SEE	CET APPAREIL DOIT ETRE INSTALLE HORIZONTELEMENT ET LE				
INSTRUCTIONS FOR ADDITIONAL	COMPARTIMENT DU SOUFFLEUR D'AIR CIRCULANT DOIT SE TROUVER				
CONSTRUCTION THROUGH WHICH					
PIES MAY BE INSTALLED.					
MODEL NO. & SERIAL NO. WHEN	NOTE: POUR COMMANDER DES PIECES DE RECHANGE, INDIQUEZ				
REPAIR PARTS.	TOUJOURS LE NUMERO DU MODELE ET LE NUMERO DE SERIE.				
NOX	ASSEMBLED IN MEXICO	M/N	ML193UH07XP24B-59		
AS, TEXAS	S/N		1717ED6990		
		12A19		9-16S7CS9L	

MFG: June 2017. 66,000 BTU/HR

116. Lennox

<input type="checkbox"/> AIR CONDITIONING	<input type="checkbox"/> GAS FITTING
<input type="checkbox"/> HUMIDIFIERS	<input type="checkbox"/> HOT WATER TANKS
<input type="checkbox"/> PROGRAMMABLE THERMOSTATS	<input type="checkbox"/> DUCT CLEANING
<input type="checkbox"/> SERVICE AGREEMENTS	<input type="checkbox"/> BOILERS

CALL FOR BASEMENT DEVELOPMENT

Equipment installed with Complete Care Certificate Coverage are required to have annual maintenance (12 months from the original install date) to keep warranty valid. Manufacturer's Warranties could be void if equipment is not annually maintained.

Before calling for furnace service, please check the following:

1. Is the power switch on?
2. Is the gas valve on?
3. Is the filter clean?
4. Is the pilot light on?
5. Is the bottom door securely in place?
6. Have you checked your thermostat batteries?

SERVICE RECORD		
Date Serviced	Invoice #	Technician
JAN 11 2019	PTU 15ph x2	Rob N. / Jean Z.

FURNACE FILTER SIZES

Model Number

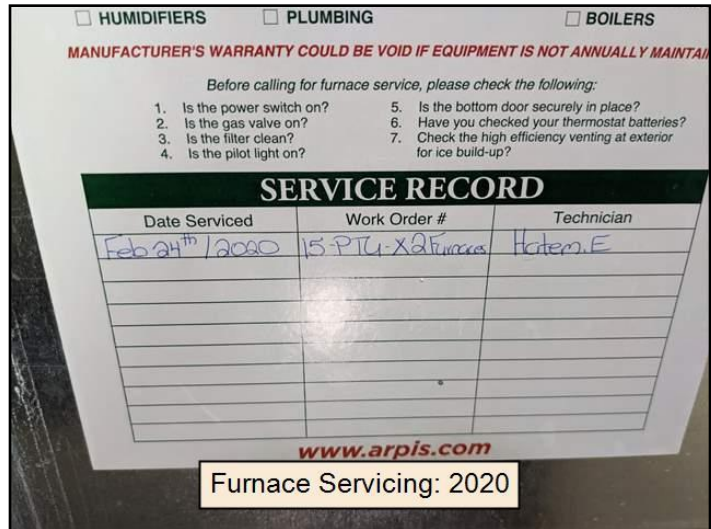
Size

Model

Size

Furnace Servicing: 2019

117. Lennox



118. Lennox

• Lennox

Check and replace furnace filter every 3 months or as needed.

- Remove front cover of the furnace at least once or twice during the heating season to inspect for condensation leaks, and repair / service if needed.

Recommend using low-density filters to allow for greater air flow to furnace, and to also extend furnace component life such as the blower motor and heat exchanger. Filter Size: 16x25x1".

Model number: Main + Basement Furnace



119. Lennox



120. Lennox

HEATING

1234 Calgary Home, Calgary, AB January 11, 2023

Report No. 4370

www.jchi.ca

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121. Lennox



122. Lennox



123. Lennox



124. Lennox

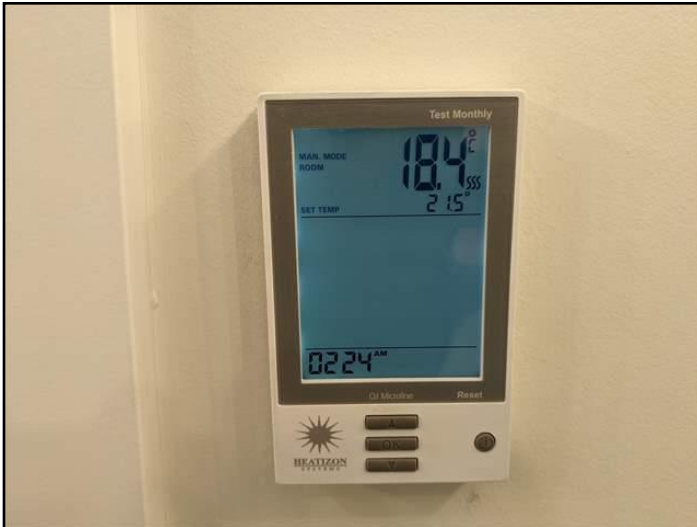
HEATING DATA		CHAUFFAGE		CLEARANCES / D	
DESIGNED FOR USE WITH NATURAL GAS (BTU/H)	EQUIPE POUR GAZ NATUREL (BTU/H)	66,000	62,000	THIS FURNACE IS APPROVED FOR UPFLOW AND HORIZONTAL MIN. CLEARANCE TO COMBUSTIBLE CONSTRUCTION (IN.) - SEE CLEARANCE ARROWS DO NOT CHANGE WITH FURNACE ORIENTATION UNIT CLEARANCE TO COMBUSTIBLE CONSTRUCTION (IN.) - * MIN. FRONT SERVICE CLEARANCE FOR ALCOVE, CLOSET, & ATTIC	
RATED PRESSURE (IN. W.C.)	PUISSANCE NOMINALE (BTU/H)	3.5	3.5	CETTE FOURNAISE EST APPROUVEE POUR L'INSTALLATION HORIZONTALE ACCIDENTELLE. DEGAGEMENTS MINIMUM ENTRE L'APPAREIL ET LES FLECHES DE DEGAGEMENT EN CHARGE POUR EVITER LE DEGAGEMENT DE VENT CONSTRUCTION CONSTRUCTION (IN.) - * DEGAGEMENT MIN. DEVANT FOURNAISE ET ATTIC POUR EVITER LES PROBLEES DE VERMINES	
SUPPLY LINE PRESS. MAX/MIN (IN. W.C.)	PRESSION DANS LA CANALISATION DE GAZ (MAX/MIN PO. D'EAU) POUR BESOIN D'AJUSTEMENT	13 / 4.5	13 / 4.5	C. COMBUSTIBLE FURNACE NO. MIN. COMBUSTIBLE FURNACE	
MINIMUM OUTLET AIR TEMPERATURE (°F)	TEMP. MAXIMALE D'AIR DE SORTIE (°F)	180°	180°	HORIZONTAL POSITION: LINE CONTACT OF ONLY FERROUS BY LINES POSITION: HORIZONTAL POSITION: LE CONTACT LINE FORMED BY INTERSECTION AT TOP WITH BUILDING, CHIMNEY, CLOSET, STUDO, OR FRAMING.	
TEMPERATURE RISE (°F)	L'ELEVATION DE TEMPERATURE (°F)	50 - 80	50 - 80	N/A EMISSION (100°F)	
R. RECOMMENDED ORIFICE SIZE (IN.)	TAILLE D'ORIFICE RECOMMANDEE PAR FABRICANT (PO.)	0.063	0.063	ELECTRICAL RATING / CARACTERISTIQUE ELEC	
MAX. STATIC PRESSURE (IN. W.C.)	PRESSION STATIQUE MAX. (PO. D'EAU)	0.5	0.5	VOLTS	HERTZ
OR ALTITUDES TO (FEET)	POUR L'ALTIITUDE JUSQU'A (PIEDS)	0 - 4500	0 - 4500	120	60
SEE INSTALLATION INSTRUCTIONS FOR INSTALLATIONS ABOVE (FEET)	POUR LE MANUEL D'INSTALLATION POUR DES INSTALLATIONS A DES ALTIITUDES EXCEDANT (PIEDS)	(6488 - 101148)	(6488 - 101148)	PHASE	
A CONVERSION KIT, AS SUPPLIED BY THE MANUFACTURER, MUST BE USED TO CONVERT THIS UNIT TO PROPANE.	UNE TROUSSE DE CONVERSION, FOURNIE PAR LE FABRICANT, DOIT ETRE UTILISEE POUR PASSER D'UN COMBUSTIBLE A L'AUTRE.	0.034	0.034	1	
MFG'S RECOMMENDED ORIFICE SIZE (IN.)	TAILLE D'ORIFICE RECOMMANDEE PAR FABRICANT (PO.)	10.0	10.0	12.0	
MANIFOLD PRESSURE (IN. W.C.)	PRESSION DU COLLECTEUR (PO. D'EAU)			3.1	
FOR INDON INSTALLATION IN A BUILT-UP SPACE, THIS FURNACE MUST BE INSTALLED WITH PROVISIONS FOR VENTILATION INFORMATION. INFORMATION FOR THICKNESS OF CONSTRUCTION THROUGH WHICH VENTILATION PIPES MAY BE INSTALLED (MAXIMUM IN.)	POUR L'INSTALLATION DANS UN BATIMENT CONSTRUIT SUR LES ESPACES, CE FOURNAISE DOIT ETRE INSTALLEE AVEC LES DISPOSITIFS DE VENTILATION. INFORMATION POUR L'EPaisseur DE CONSTRUCTION PAR LEQUEL LES TUYAUX DE VENTILATION PEUVENT ETRE INSTALLEES (MAXIMUM EN POUCE)			MFG: June 2017. 66,000 BTU/HR	
NOTE: SPECIFY MODEL, IN. & SERIAL NO. WHEN ORDERING SERVICE PARTS.	NOTE: POUR COMMANDER DES PIECES DE RECHANGE, RENSEIGNEZ LE MODELE, LE NOMBRE DE MOISELLE ET LE NUMERO DE SERIE.			LENNOX DALLAS, TEXAS	
				MFG: ML1934H070XP248-59 IN. MEXICO 1737-07005	

125. Lennox

Heat distribution:

- [Ducts and registers](#)
- [Electric radiant heat](#)

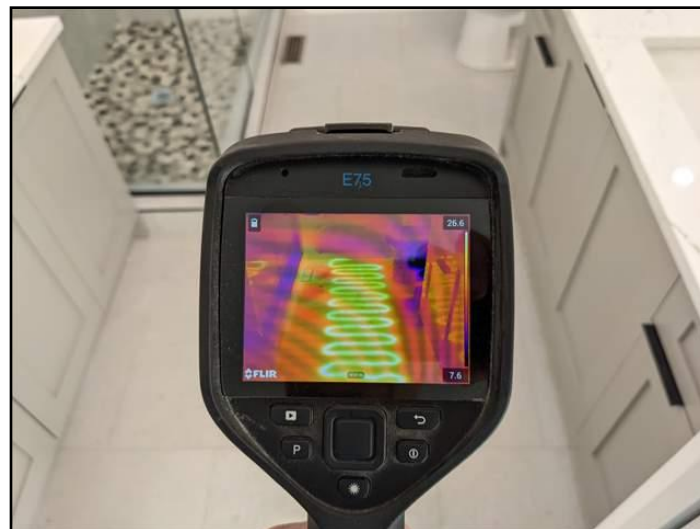
Ensuite, Electric Radiant Heat with good coverage of the bathroom floor.



126. Electric radiant heat



127. Electric radiant heat



128. Electric radiant heat

Approximate capacity: • 66,000 BTU/HR - Both Furnaces

Efficiency: • [High-efficiency](#)

Exhaust venting method: • [Direct vent - sealed combustion](#)

Combustion air source: • Outside - sealed combustion

Approximate age: • [5 years](#)

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Main fuel shut off at:

- Meter



129. Meter

Failure probability:

- [Low](#)

Furnaces may need periodic servicing for repair work, sensors and igniters may need to be replaced when faulty. As long as the heat exchanger is not terribly corroded or cracked, replacement of wear-and-tear items such as sensors, and igniters, induction motors are part of the service life of a furnace. Periodic service calls are part of the normal functioning costs of the furnace life.

Fireplace/stove:

- [Wood-burning fireplace](#)

Wood Burning Fireplace. Recommend having chimney swept to remove creosote buildup each fall before the heating season if it is used extensively. A chimney sweep may not be needed annually, but is dependant on usage of the wood fireplace.

- Chimney appears to be clean during the inspection, and a chimney sweep is not required at this time.



130. Wood-burning fireplace



131. Wood-burning fireplace



132. Wood-burning fireplace



133. Wood-burning fireplace

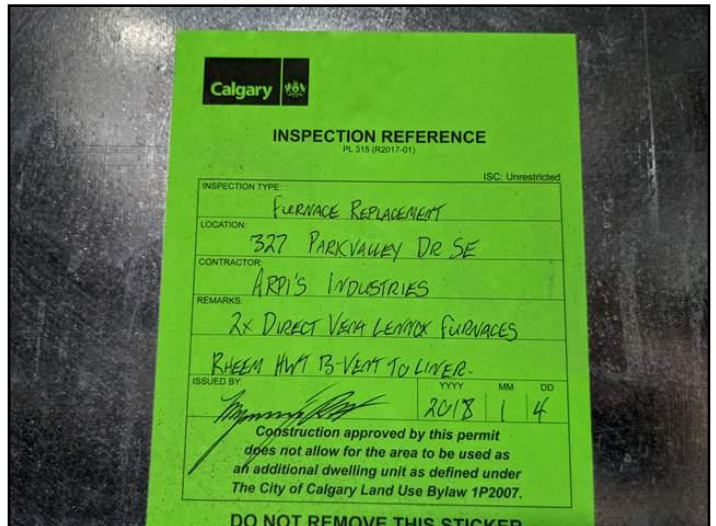
Chimney/vent:

- High temperature plastic

Clear snow away from furnace exhausts and air intakes. Installation is very close to grade, it may have been approved by the City of Calgary based on the Permit in the basement. Otherwise, you can glue new System 636 Elbows and extensions for the exhaust pipes to be elevated higher.



134. High temperature plastic



135. High temperature plastic

Carbon monoxide test:

- 0 parts per million - approximate



136. 0 parts per million - approximate



137. 0 parts per million - approximate



138. 0 parts per million - approximate



139. 0 parts per million - approximate

Limitations

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger:

• Only a small portion visible

Only a small portion was visible, the entire heat exchanger could not be inspected. There was a reading of 0 PPM with our professional Carbon Monoxide Detector during the home inspection.

HEATING

1234 Calgary Home, Calgary, AB January 11, 2023

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140. Only a small portion visible



141. Only a small portion visible



142. Only a small portion visible



143. Only a small portion visible

Recommendations

GAS FURNACE \ Mid- and high-efficiency gas furnace

5. Condition: • [Condensate leak](#)

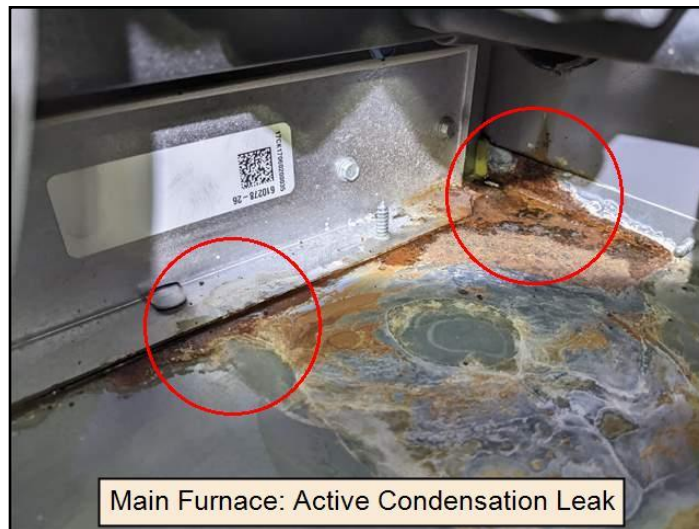
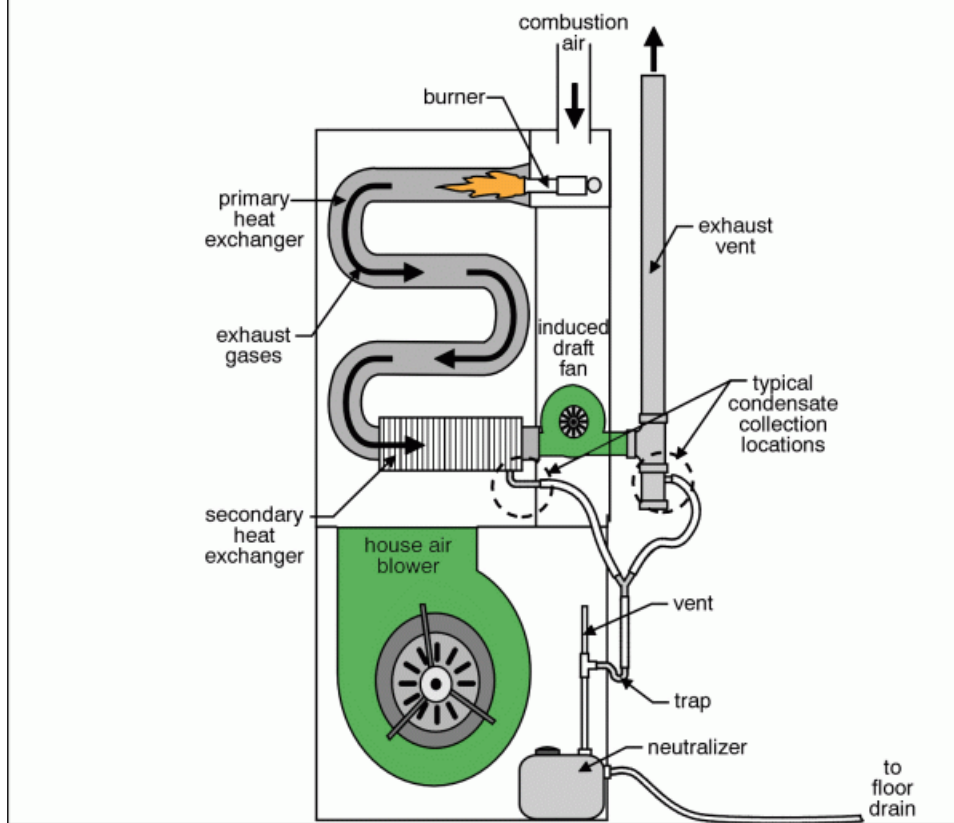
Furnace needs to be serviced, it is leaking condensation inside the furnace cabinet. This can cause more issues if not addressed promptly, as the leaked condensation can rust through the cabinet and damage the electronics below.

Location: Basement - Main Furnace

Task: Repair

Time: Immediate

Condensation in high efficiency furnaces



Main Furnace: Active Condensation Leak

144. Condensate leak

6. Condition: • [Condensate leak](#)

Furnace is leaking (slowly) condensation at the exterior and is dripping on the floor. This should be repaired, no damage has yet been caused.

Location: Basement - Top Floor Furnace

Task: Repair

Time: Regular maintenance



145. Condensate leak

FIREPLACE \ General notes

7. Condition: • Spark Arrester Caps are recommend for the fireplace flues. This can prevent precipitation from directly falling down into the chimney, and also to prevent rodents such as birds and squirrels from entering.

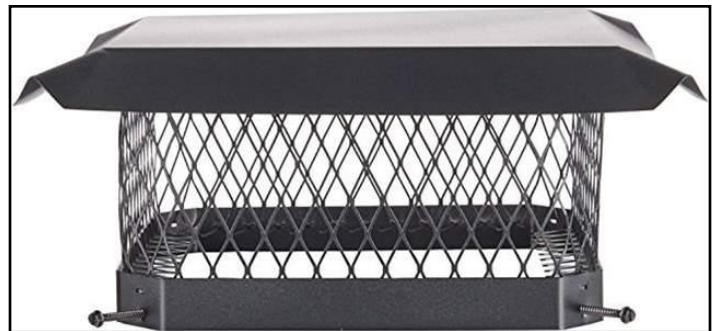
Location: Fireplace Chimney Flue

Task: Improve

Time: Regular Maintenance



146.



147.

Description

Attic/roof insulation material:

- [Cellulose](#)



148. Cellulose



149. Cellulose



150. Cellulose



151. Cellulose

Attic/roof insulation amount/value: • [R-32](#)

Attic/roof air/vapor barrier: • [Plastic](#)

Attic/roof ventilation:

- [Roof and soffit vents](#)
- [Gable vent](#)

INSULATION AND VENTILATION

1234 Calgary Home, Calgary, AB January 11, 2023

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152. Gable vent

Wall insulation material: • [Glass fiber](#)

Wall insulation amount/value: • [R-12](#)

Wall air/vapor barrier: • Plastic

Foundation wall insulation material: • [Glass fiber](#)

Foundation wall insulation amount/value: • [R-12](#)

Foundation wall air/vapor barrier: • Plastic

Limitations

Attic inspection performed: • From access hatch

Roof space inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

Description

Water supply source (based on observed evidence): • Public

Service piping into building: • [Copper](#)

Supply piping in building:

• [Copper](#)

Copper pipes are present, but it appears that more than 50% of it has been upgraded to PEX



153. Copper

• PEX (cross-linked Polyethylene)

Several fixtures have been upgraded/re-plumbed with PEX piping.



154. PEX

Main water shut off valve at the:

• Meter

Main Water Shut-Off is behind the white access cover.



Behind White Access Cover

155. Meter

Water flow and pressure: • [Functional](#)

Water heater type: • [Induced draft](#)

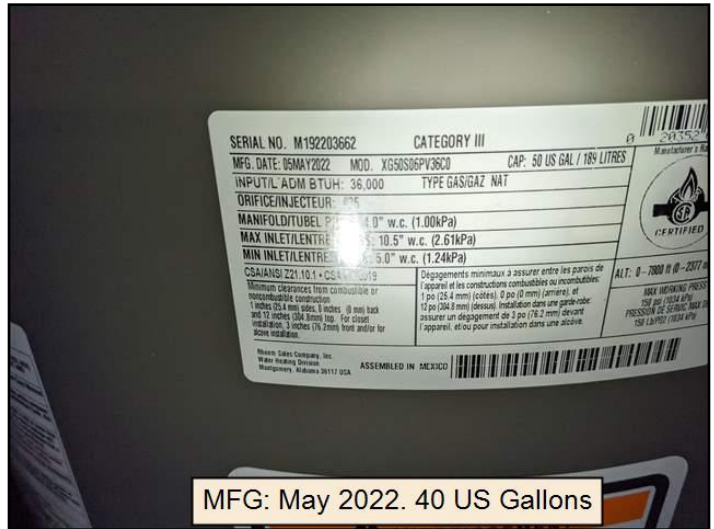
Water heater fuel/energy source: • [Gas](#)

Water heater manufacturer:

- Rheem

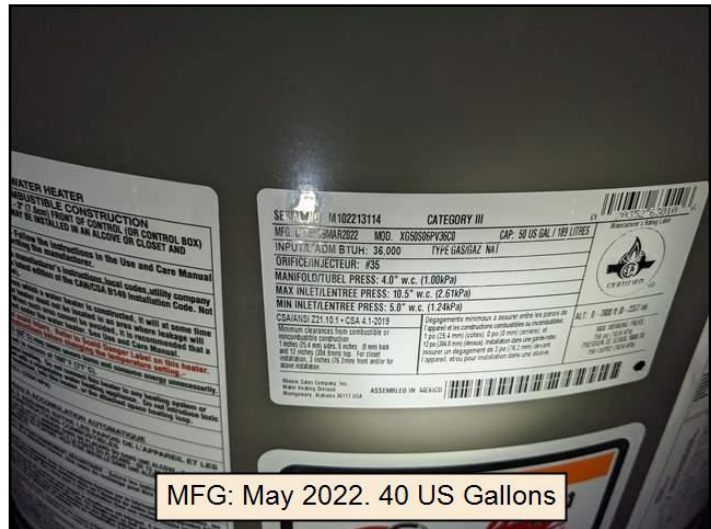


156. Rheem



MFG: May 2022. 40 US Gallons

157. Rheem



158. Rheem

Water heater tank capacity: • [40 gallons](#)

Water heater approximate age: • New

Water heater typical life expectancy: • 8 to 12 years

Water heater failure probability:

- [Low](#)

Water Heaters generally last 8-12 years, up to 16 years is possible. Longevity and service life is highly dependant on the family size in home, and the amount of hot water usage.

Waste disposal system: • [Public](#)

Waste and vent piping in building: • [ABS plastic](#)

Floor drain location:

- Near heating system



159. Near heating system

Gas piping material: • Steel

Backwater valve: • Not present

Exterior hose bibb (outdoor faucet):

• Present

Exterior Hose Bibbs present. Recommend shutting off water to bib in the fall to prevent freezing of pipes. Once water is turned off, go back outside and "open" the bib to allow air to enter pipe.



160. Present



161. Present



162. Present

Limitations

Items excluded from a building inspection: • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

Items excluded from a building inspection: • Homes over 30-40 years old should have a sewer line inspection performed. Especially if the home has or has had large trees planted on the property. We can recommend several companies that can do a Sewer Scope inspection for you if desired. Old plumbing materials such as cast iron are prone to deteriorating due to age, and can also attract tree roots (which usually can be augured when needed).

Recommendations

WATER HEATER \ Temperature/pressure relief (TPR) valve

8. Condition: • [Discharge tube missing](#)

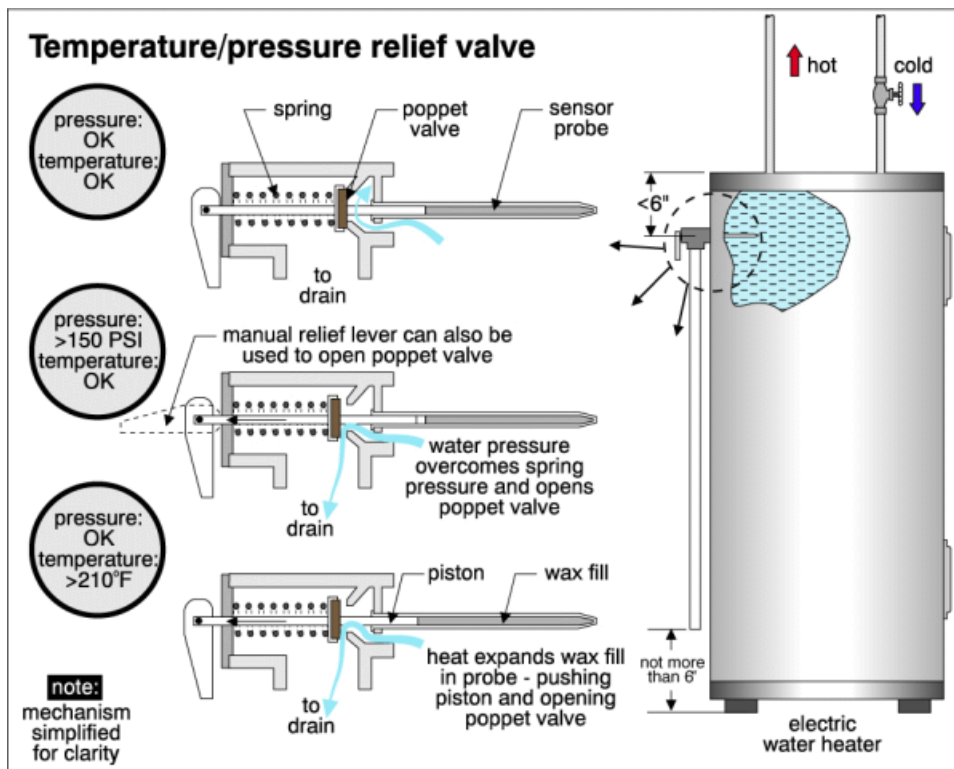
TPR Valve extension tube is missing. There is a tube that threads into the TPR Valve and extends down near floor level. This prevents scalding if the valve was to ever open (from over pressure / heat).

Implication(s): Scalding

Location: Basement Water Heater (Both Tanks)

Task: Correct

Time: Regular maintenance





163. Discharge tube missing



164. Discharge tube missing

Description

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows:

- [Fixed](#)



165. *Fixed*

- [Sliders](#)



166. *Sliders*

- [Casement](#)



167. Casement

- Vinyl

Glazing: • [Double](#)

Exterior doors - type/material:

- Hinged
- [Plastic/fiberglass](#)

Entrance door is Plastic/Fiberglass. These doors offer a good thermal break from the exterior and are more resistant to warping.

Oven fuel: • Electricity

Cooktop fuel: • Gas

Appliances:

- Appliances

Appliances were tested during the home inspection, the included appliances are all pictured in this section for your convenience.



168. Appliances



169. Appliances



170. Appliances



171. Appliances



172. Appliances



173. Appliances



174. Appliances



175. Appliances



176. Appliances



177. Appliances



178. Appliances

Laundry facilities:

- Washer

Washer and dryer were tested during the inspection, and are functional.

- As the washer and dryer are above the basement floor level, I recommend purchasing a catch tray for the washing machine in case the washing machine leaks. They cost around \$35-\$50 dollars from the hardware store.



179. Washer



180. Washer



181. Washer



182. Washer



183. Washer

Kitchen ventilation: • Range hood • Recirculating type

Bathroom ventilation:

- Exhaust fan

Bathroom exhaust fans should be turned-on while showering, and be left on for at least 3 times longer than your shower to ensure that the humidity is removed, and help prevent condensation staining on walls and ceilings. Example: 5 minute shower, fan should stay on for 15 minutes afterwards.

- intake grill should be cleaned periodically to ensure proper air flow.
- Switches for bathroom exhaust fans can be upgraded to a timer switch, which can allow you to select a pre-determined amount of time before the fan automatically shuts-off.



184. Exhaust fan



185. Exhaust fan



186. Exhaust fan

Limitations

Not included as part of a building inspection: • Carbon monoxide alarms (detectors), security systems, central vacuum
Cosmetic issues • Aesthetics or quality of finishes

Appliances:

- Appliances are not moved during an inspection
 - Appliances are tested for basic functionality only. Not all cycles or features are tested. Appliances are turned-on and tested for basic functionality. Not all the appliances features are tested, such as Self Clean for ovens. Burner elements are tested for functionality, and quick wash cycles for the dishwasher and washing machine etc.
- Appliances over 10 years old may have some features not working correctly, or show wear and tear such as dim displays, worn buttons and knobs. We do not offer any sort of warranty or guarantee that appliances are fully functional.

Percent of foundation not visible: • 99 %

Recommendations

RECOMMENDATIONS \ Overview

9. Condition: • ** Multiple deficiencies are all grouped in this section for your convenience, each image is sub titled.

Location: Various Areas



187.



188.

INTERIOR

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Front Hose Shut-Off Valve Not Visible

189.



Rear Door: Trim Missing Under Sill

190.



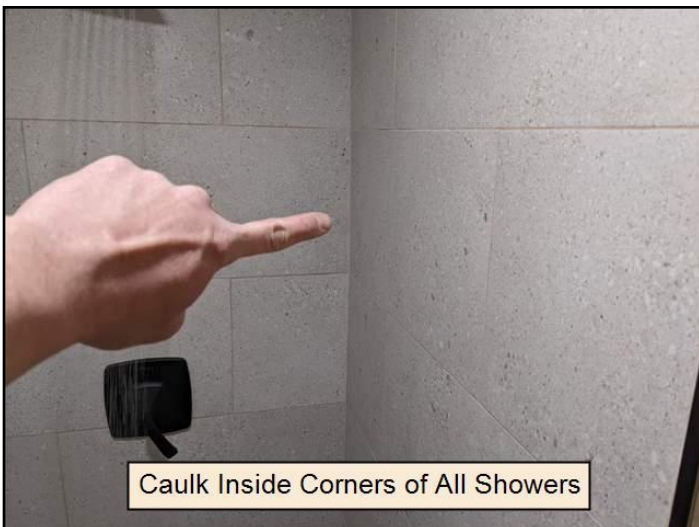
Front Hose Bib, No Access to Shut-Off Valve

191.



Caulk Inside Corners of All Showers

192.



Caulk Inside Corners of All Showers

193.



Missing Shut-Off Valve to HWT's

194.



195.



196.



197.



198.



199.



200.



Main Bath: Adjust Cartridge. Only Warm Water



Clean HVAC Ducts

201.

202.



Clean HVAC Ducts



Clean HVAC Ducts

203.

204.



Ensuite (Beside Shower), No Cold Water Flow



Ensuite (Beside Shower), No Cold Water Flow

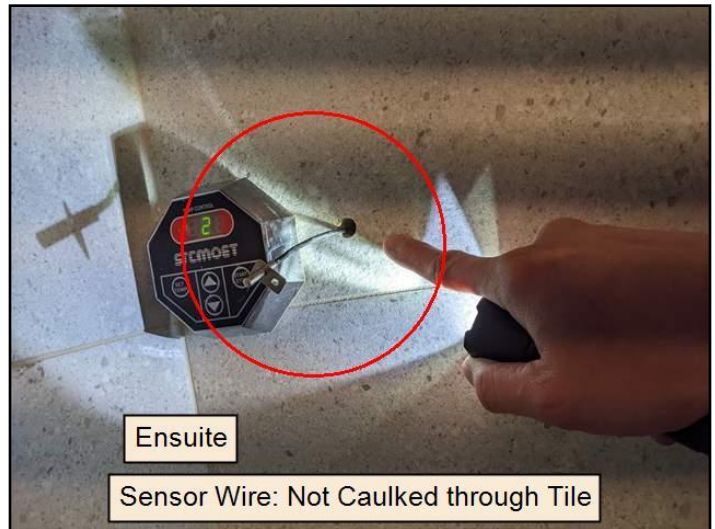
205.

206.



Ensuite: Caulk Shower Spout

207.



Ensuite

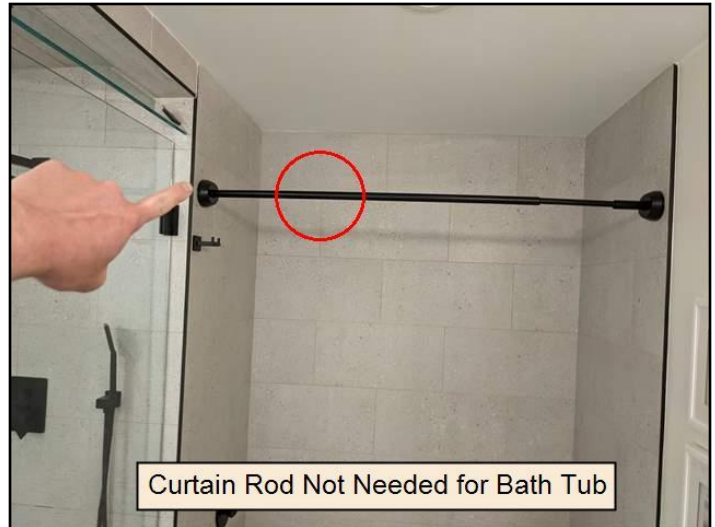
Sensor Wire: Not Caulked through Tile

208.



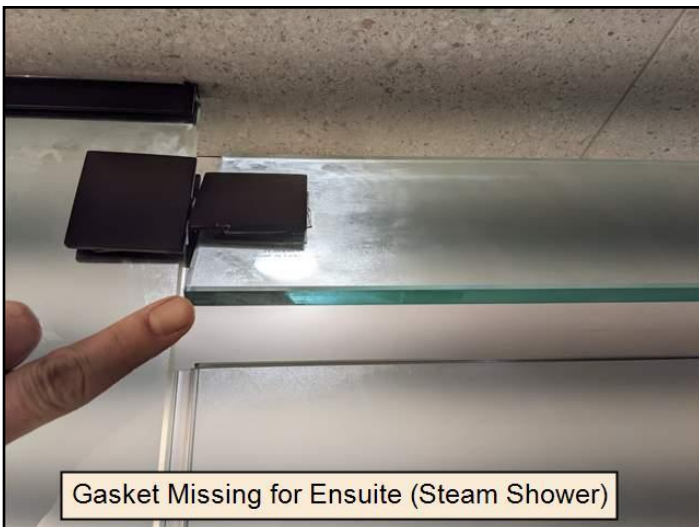
Caulk Inside Corners of Shower Walls

209.



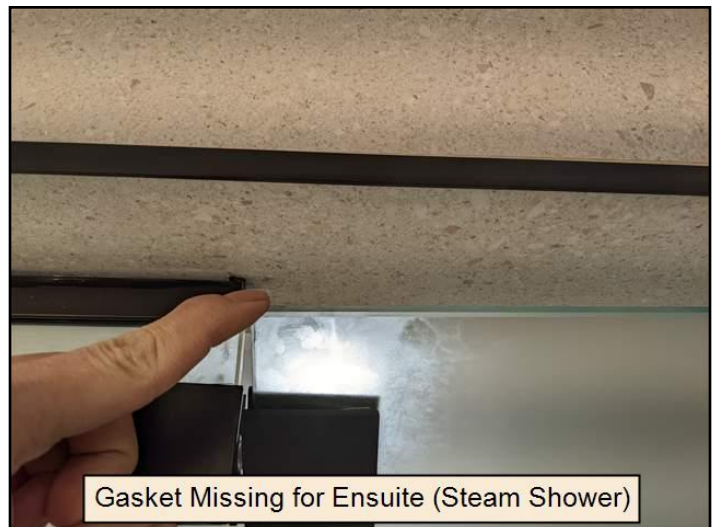
Curtain Rod Not Needed for Bath Tub

210.



Gasket Missing for Ensuite (Steam Shower)

211.



Gasket Missing for Ensuite (Steam Shower)

212.



213.



214.



215.

STAIRS \ Handrails and guards

10. Condition: • [Missing](#)

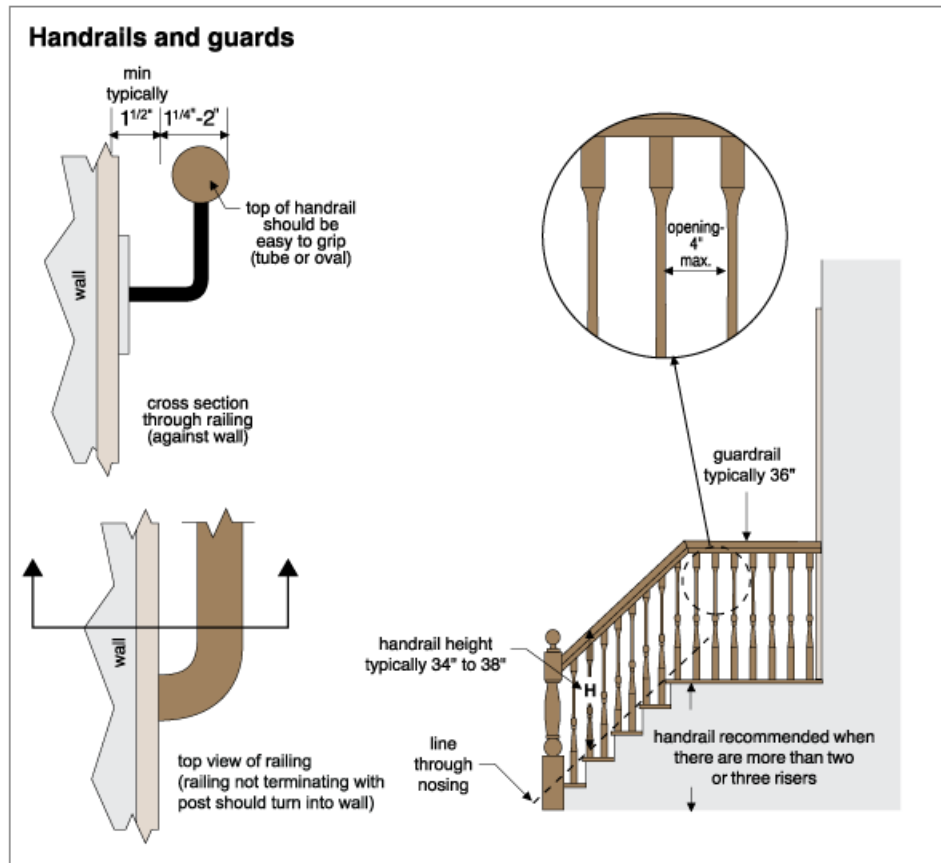
Missing handrails should be installed, as this can prevent an accidental fall.

Implication(s): Fall hazard

Location: Basement

Task: Correct

Time: Regular maintenance



216. Missing

STAIRS \ Spindles or balusters

11. Condition: • [Easy to climb](#)

Guardrails are climbable. Vertical spindles can be installed to correct this and to prevent small children from falling through.

Implication(s): Fall hazard

Location: Various Areas

Task: Improve

Time: If necessary



217. *Easy to climb*

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS